

ZONING REQUIREMENTS

ITEM	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONING DISTRICT	BU2000S-B-1			
MIN. LOT AREA	4,356 S.F.	50,499 S.F.	50,499 S.F.	-
MIN. LOT WIDTH	50 FT	125.2 FT	125.2 FT	-
MIN. LOT DEPTH	50 FT	30.1 FT	30.1 FT	-
MIN. LOT FRONTAGE	50 FT	125.2 FT	125.2 FT	-
PRINCIPAL BUILDING SETBACKS				
MIN. FRONT YARD SETBACK	10 FT	5.6 FT	5.6 FT	ENC
MIN. SIDE YARD SETBACK	NA	2.7 FT	-	-
MIN. REAR YARD SETBACK	15 FT	78.4 FT	6.3 FT (1)	+
MAX. BUILD. HEIGHT [2]	30 FT	26.7 FT	26.7 FT	-
MAX. FLOOR AREA RATIO [3]	0.60	0.39	0.51	-
PARKING SETBACK (FRONT)	10 FT	12.6 FT	30.4 FT	-

NOTES:

- (ENC) INDICATES A PRE-EXISTING NON-COMPLYING ENCLOSURE
(-) INDICATES A VARIANCE IS REQUESTED FOR THE ITEM
(+) INDICATES THAT THE ITEM COMPLIES
(1) REAR SETBACK TO PROPOSED TRANS-APPROPRIATE SETBACK WHERE PROPOSED IS 6.3 FT AND 15.0 FT IS REQ'D. (SEE 100-246)
(2) BUILDING HEIGHT 26.7 FT - BASED ON AVERAGE GRADE OF EL. 155.6 AND TOTAL HEIGHT OF 25.7 ABOVE FF 154.6
(3) EXISTING GFA - 10,780 SQ. FT. PROPOSED GFA - 25,817 SQ. FT.

PARKING VARIANCE:

SEE 100-252 PARKING WHERE 130 STALLS ARE REQUIRED, 62 STALLS EXIST AND A TOTAL OF 63 STALLS ARE TO BE PROVIDED.

OTHER PRE-EXISTING NON-COMPLYING CONDITIONS:

- SEE 100-307 LANDSCAPE BUFFER WITH - WHERE EXISTING AND PROPOSED BUFFER STOPS BETWEEN SECTIONS. ADJACENT TO THE EXISTING PARKING AREA IS 8.4 FT MIN. AND WHERE THE EXISTING BUILDING IS 2.7 FT FROM ADJACENT THE RESIDENTIAL LOT (EL. LESS THAN 50 FT). (PRE-EXISTING NON-COMPLYING CONDITION)
SEE 100-286(C) SHADE TREES & LANDSCAPING FOR PARKING AREA SHADE TREES WHERE 1 SHADE TREE PER 3 STALLS IS REQUIRED, NOTING THAT 10 TREES EXIST AND 10 TREES ARE TO BE PROVIDED TO MEET THE EXISTING CONDITION. (PRE-EXISTING NON-COMPLYING CONDITION)

REVISIONS	BY	DATE

KENSHO RESOURCES LLC

360 NASSAU STREET, SECOND FLOOR
PRINCETON, NEW JERSEY 08540
PH: (609) 924-1091
FAX: (609) 924-1092

JMK@KENSHORESOURCES.COM

JAMES S. CHAPMAN, P.E., P.F.
N.J. P.E. NO. 246204783 N.J. P.F. NO. 58862

PROJECT: 5/18/2020

MINOR SITE PLAN

300 WATERSPOON STREET
BLOCK 602 LOT 4
PRINCETON
MERCER COUNTY, NEW JERSEY

SITE / UTILITY PLAN

DESIGNED BY	JC	SHEET NO.
CHECKED BY	JC	
SCALE	AS NOTED	2
FILENAME	SITE/MD	
JOB NO.	19012	
DATE	5/18/2020	

SIGN COMPLIANCE

SIGN REGULATIONS

PRESTANDARD (8-1) DISTRICT

HEIGHT 8 FT MAX.
AREA 10 SF MAX.
3.4 FT HIGH (EXISTING/PROPOSED)
10 SF MAX. (EXISTING/PROPOSED)
3 FT MIN. SETBACK FROM ROW
6.2 FT (EXISTING/PROPOSED)
(ENC OR PRE-EXISTING NON-COMPLYING CONDITION)

ALL SIGN AREA DETAILS SHALL CONFORM TO ORDINANCE REQUIREMENTS (REFER TO PRESTANDARD SIGN DETAIL ON DETAIL SHEET)

EXEMPT NAMEPLATE SIGN (8-1) DISTRICT PER ORD 100-294(C)(2)

BUILDING ADDRESS NAMEPLATE AREA:
AS OF RIGHT 1" 2" MIN. 4" 2" 3" PROPOSED

SIGN SHALL COMPLY WITH ORD. SEC. 108-237 FOR PRESTANDARD AND EXEMPT SIGNS.

PARKING SUMMARY

USE	FACTOR	GSF	REQUIRED	PROVIDED
BUSINESS/OFFICE (EXISTING BLDG)	1/200 SF	15,534 SF (~141 F)	99 SPACES	
BUSINESS/OFFICE (NEW FLOOR AREA)	1/200 SF	6,137 SF ~294 F	31 SPACES	
TOTAL:	25,817 SF		130 SPACES	63 SPACES (VARIANCE)*

(EXISTING PARKING SPACES = 62 STALLS; PROPOSED PARKING STALLS = 63 STALLS)

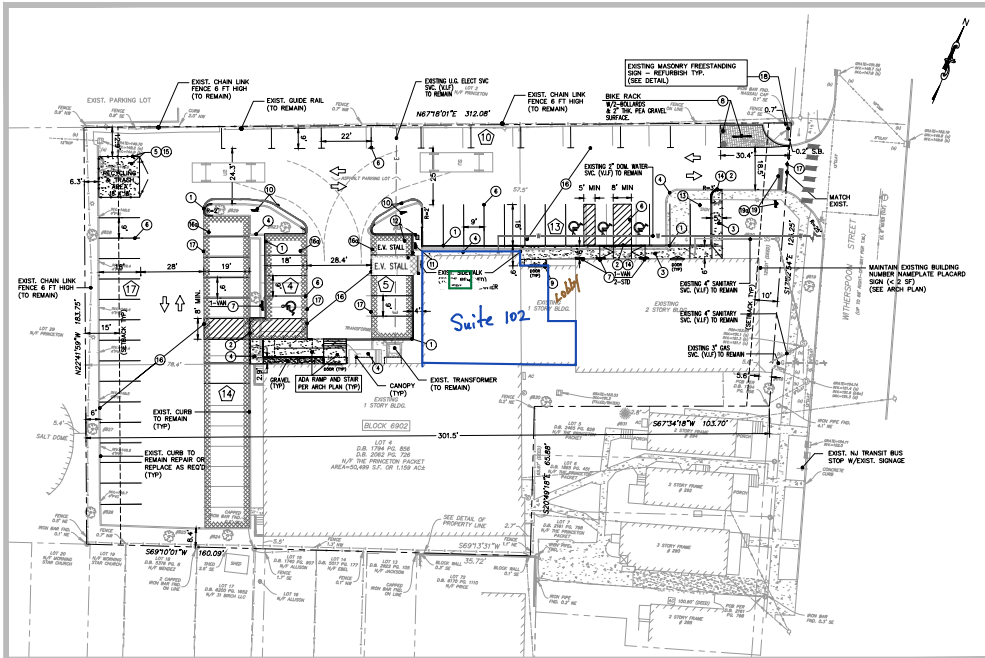
NOTES:

- REFER TO ARCHITECTURAL PLAN TO CONFIRM AND COORDINATE ALL DIMENSIONS FOR THE BUILDING AND ANGLIARY BUILDING IMPROVEMENTS PRIOR TO ANY STAKE-OUT AND CONSTRUCTION ACTIVITIES.
- THE PROPOSED BUILDING FOOTPRINT SHOWN ON THIS PLAN REFERENCES THE ARCHITECTURAL PLAN, PREPARED BY EMANUEL OBERRA AND SURVEY PLAN PREPARED BY JOHN HANLON PLS VS LANDATA LLC. REFER TO LATEST VERSIONS OF THESE PLANS FOR ALL BUILDING AND EXISTING SITE DIMENSIONS.
- ALL PAVEMENT THAT IS DISTURBED FOR UTILITY AND CURB INSTALLATION ON THE PROPERTY SHALL BE FIRST BE GRADDED AND IMMEDIATELY RESTORED WITH FULL DEPTH ASPHALT PAVING PRIOR TO MALL AND OVERLAY OPERATIONS AS THE PLAN REQUIRES. ANY OTHER LIMITED AREAS OF COMPROMISED EXISTING PAVEMENT SHALL BE REMOVED AND REPLACED PRIOR TO MALL AND OVERLAY OPERATIONS.

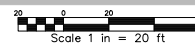
PLAN KEY:	
1	PROPOSED 6" CONCRETE CURB
2	PROPOSED CONCRETE DEPRESSURED CURB
3	TO BE REMOVED (TYPICAL)
4	PROPOSED CONCRETE PAD
5	PROPOSED 4" WIDE PARKING STRIPE
6	PROPOSED ADA PARKING SIGN
7	PROPOSED BIKER RACK
8	KNOS BOM INSTALLATION
9	PROP. NO PARKING FIRE LANE SIGN & STRIPING
10	PROPOSED ELECTRIC VEHICLE (E.V.) PARKING SIGN
11	PROPOSED ELECTRIC VEHICLE (E.V.) STATION W/CHARGING STATION
12	RELOCATE EXISTING SIGN
13	PROPOSED CONCRETE ADA RAMP W/TRUNC. DOMES
14	WOOD BOARD-ON-BOARD FENCE 6 FT HIGH W/GATES
15	2" MILL AND OVERLAY ASPHALT PAVEMENT
16a	DNSTE ASPHALT PERVIOUS PAVEMENT
17	PAVEMENT SAND/ST
18	EXIST. MASONRY PRESTANDARD SIGN
19	PROPOSED STOP SIGN R1-2 AND STOP BAR
19a	PEDESTRIAN WARNING SIGN W11-2 (AT CROSSWALK)

UTILITY NOTES:

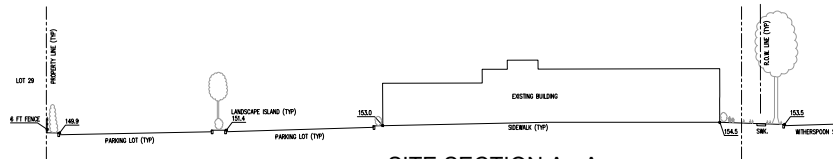
- THE BUILDING WATER SERVICE SHALL BE INSTALLED (OR MAINTAINED) IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION STANDARDS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED APPROVALS FOR MATERIAL SPECIFICATIONS, INSTALLATION METHODS OR SHOP DRAWINGS PRIOR TO CONSTRUCTION THROUGH DIRECT COORDINATION WITH AMERICAN WATER WORKS ASSOCIATION. CONTRACTOR IS REQUIRED TO CONFIRM THE SIZE AND LOCATION OF THE EXISTING LOCATION IN THE FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALSO CONFIRM THE SIZE OF THE PROPOSED SERVICE WITH THE ARCHITECT AND FINAL MECHANICAL DESIGNER TO MEET THE PROJECT REQUIREMENTS. CONTRACTOR SHALL COMPLY WITH NFPA, FIRE CODE AND FIRE OFFICIAL REQUIREMENTS.
- ALL SANITARY SEWER CONSTRUCTION MUST BE COMPLETED IN ACCORDANCE WITH THE RULES AND REGULATIONS, STANDARD SPECIFICATIONS, AND CONSTRUCTION DETAILS OF TOWNSHIP MUNICIPAL UTILITY AUTHORITY. ALL CLEANOUTS SHALL BE INSTALLED AT REGULAR INTERVALS AS REQUIRED BY THE PLUMBING CODE INCLUDING ALL CHANGED DIRECTION. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE SEWER DEPARTMENT AND OBTAIN ANY REQUIRED APPROVALS FOR MATERIAL SPECIFICATIONS, INSTALLATION METHODS OR SHOP DRAWINGS PRIOR TO CONSTRUCTION. CONTRACTOR IS REQUIRED TO CONFIRM THE SIZE AND LOCATION OF THE EXISTING LOCATION IN THE FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALSO CONFIRM THE SIZE OF THE PROPOSED SERVICE WITH THE ARCHITECT AND FINAL MECHANICAL DESIGNER TO MEET THE PROJECT REQUIREMENTS. CONTRACTOR SHALL COMPLY WITH NFPA, FIRE CODE AND FIRE OFFICIAL REQUIREMENTS.
- PROPOSED GAS SERVICES AND ELECTRICAL SERVICES SHALL BE INSTALLED (OR MAINTAINED) IN ACCORDANCE WITH GAS COMPANY AND ELECTRICAL COMPANY REGULATIONS AND STANDARDS. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE GAS COMPANY AND ELECTRICAL COMPANY. CONTRACTOR SHALL OBTAIN ANY REQUIRED APPROVALS FOR MATERIAL SPECIFICATIONS, INSTALLATION METHODS OR SHOP DRAWINGS PRIOR TO CONSTRUCTION. CONTRACTOR IS REQUIRED TO CONFIRM THE SIZE AND LOCATION OF THE EXISTING LOCATION IN THE FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALSO CONFIRM THE SIZE OF THE PROPOSED SERVICE WITH THE PROJECT REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ANY ROAD OPENING PERMITS OR ANY REQUIRED APPROVALS PRIOR TO ANY WORK WITHIN THE TOWNSHIP RIGHT-OF-WAY (AND/OR COUNTY OR NUDOT RIGHT-OF-WAY IF APPLICABLE). CONTRACTOR SHALL CONTACT THE MUNICIPAL ENGINEER PRIOR TO ANY CONSTRUCTION.
- ANY ROADWAY PAVEMENT, CURB OR SIDEWALK DISTURBED TO ACHIEVE THE NECESSARY UTILITY CONNECTIONS SHALL BE PROPERLY RESTORED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE MUNICIPALITY AND/OR OTHER AGENCIES OF JURISDICTION. PERMISSION FROM APPROPRIATE AGENCIES OF JURISDICTION SUCH AS THE MUNICIPALITY (COUNTY, AND/OR NUDOT IF APPLICABLE) SHALL BE OBTAINED PRIOR TO ANY ROAD OPENING OR ROADWAY DISTURBANCE.
- THE CONTRACTOR SHALL CONFIRM ALL UTILITY CONNECTION SIZES, LOCATIONS AND REQUIRED SIZES FROM THE ARCHITECT, AND MEY ENGINEER AND UTILITY OF JURISDICTION PRIOR TO UTILITY CONNECTION AND/OR CONSTRUCTION.



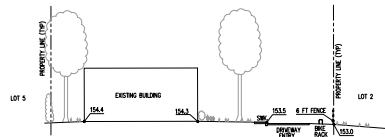
SITE / UTILITY PLAN



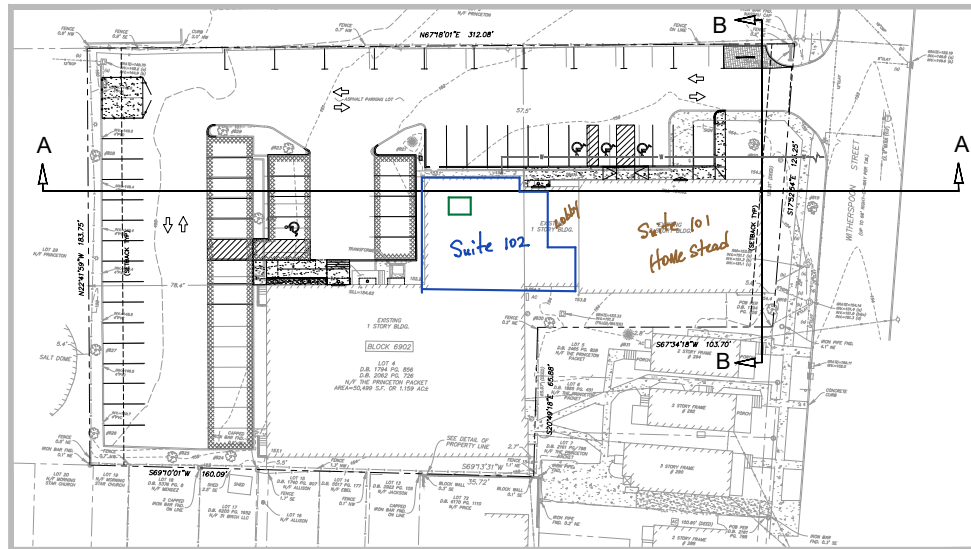
* COPYRIGHT 2020 KENSHO RESOURCES LLC - ALL RIGHTS RESERVED. THE COPY OR REUSE OF THIS DOCUMENT OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF KENSHO RESOURCES LLC. THIS DRAWING IS THE SOLE PROPERTY OF KENSHO RESOURCES LLC AND HAS BEEN PREPARED SPECIFICALLY FOR USE BY THE OWNER OF THIS PROJECT. ELI CLIENT AT THIS SITE. IT IS NOT TO BE USED BY ANY OTHER PERSON OR ENTITY OR FOR ANY OTHER PURPOSE OR LOCATION WITHOUT THE WRITTEN CONSENT OF KENSHO RESOURCES LLC.



SITE SECTION A - A



SITE SECTION B - B



Scale 1 in = 20 ft

REVISIONS		
No.	DESCRIPTION	BY DATE

KENSHO RESOURCES LLC

360 NASSAU STREET, SECOND FLOOR
PRINCETON, NEW JERSEY 08540
PH: (609) 924-1091
FAX: (609) 924-1092

JMK@KENSHORESOURCES.COM

JAMES J. CHEN, P.E., P.F., P.P.
PROFESSIONAL ENGINEER & PLANNER
N.J. P.E. NO. 246204783 N.J. P.P. 52882
5/18/2020

PROJECT:

MINOR SITE PLAN

300 WITHERSPOON STREET
BLOCK 6802 LOT 4
PRINCETON
MERCER COUNTY, NEW JERSEY

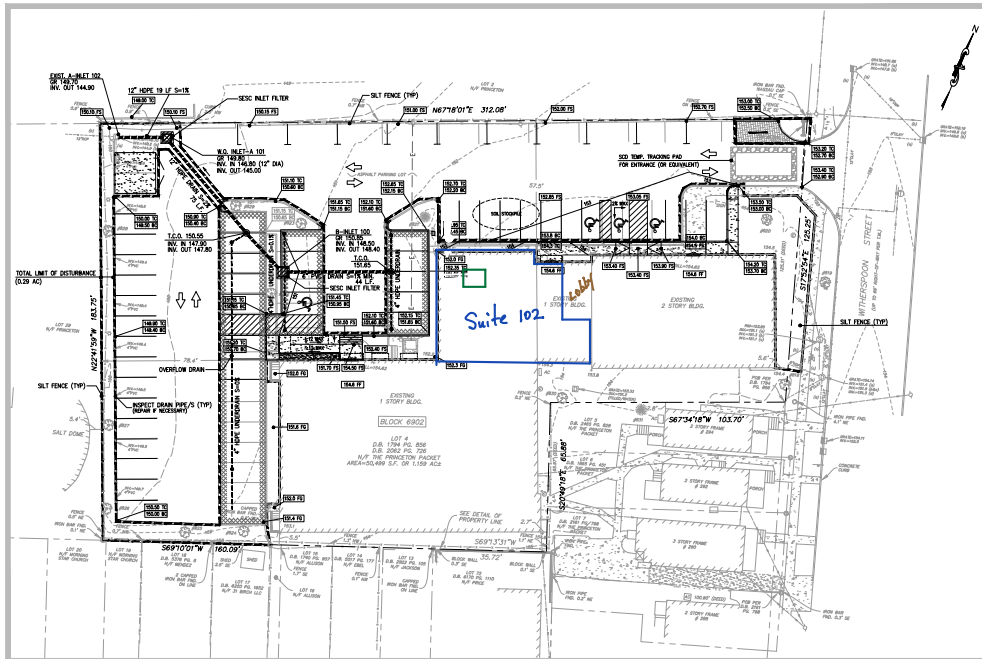
SHEET TITLE:

SITE SECTIONS

DESIGNED BY	JC <th data-kind="parent" data-rs="4">SHEET NO.</th>	SHEET NO.
CHECKED BY	JC <th data-kind="ghost"></th>	
SCALE	AS SHOWN <th data-kind="ghost"></th>	
FILENAME	SITE.DWG <th data-kind="ghost"></th>	
JOB NO.	19012 <td data-kind="parent" data-rs="2">3</td>	3
DATE	5/18/2020	

STORM WATER MANAGEMENT MAINTENANCE SCHEDULE

1. SEMI-ANNUALLY - THE OWNER SHALL INSPECT THE INTEGRITY AND FUNCTIONALITY OF THE STORM WATER COLLECTION INLET/S. ANY ACCUMULATED DEBRIS SHALL BE REMOVED (IF REQUIRED).
2. ANNUALLY - PERVIOUS PAVEMENT SYSTEM SHALL BE VISUALLY INSPECTED FOR GRADE FOR PROPER FUNCTIONALITY. ANY DEBRIS IF OBSERVED SHALL BE REMOVED. ANY NECESSARY REPAIRS TO THE PAVEMENT SYSTEM SHALL BE MADE (IF REQUIRED).
3. MAINTAIN A RECORD/LOG OF MAINTENANCE INSPECTIONS & PROCEDURES.



GRADING & SESC PLAN

DESC NOTES:

1. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL AND SOIL CONSERVATION DISTRICT. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE SUSSEX PRIOR TO ANY SITE DISTURBANCE.
2. REFER TO DETAIL SHEET FOR SESC DETAILS, NOTES AND SPECIFICATIONS.
3. THE MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES ON THE PROPERTY IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL BE MAINTAINED BY THE PROPERTY OWNER OR ANY SUBSEQUENT OWNERS.
4. THIS PLAN IS FOR THE PURPOSE OF PROVIDING SOIL EROSION AND SEDIMENT CONTROL MEASURES ONLY. ANY DEMOLITION, CONSTRUCTION OR SITE MODIFICATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH ANY NECESSARY PERMITS/APPROVALS REQUIRED FROM ALL AGENCIES OF JURISDICTION AND THEIR REQUIREMENTS. THIS INCLUDES BUT IS NOT LIMITED TO EROSION PERMITS, GRADING PERMITS, TREE REMOVAL PERMITS ETC.
5. THE SITE SHALL BE PROTECTED WITH SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO AND IMMEDIATE TO SOIL DISTURBANCE ON THE SITE.
6. THE USDA SOIL SURVEY CLASSIFIES THE SITE SOILS AS UH88 AND ABSENCE OF HIGHLY ACID OR ERODIBLE SOILS. THESE CONDITIONS SHALL BE CLARIFIED AND CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OF THE NEW BUILDING.

* COPYRIGHT 2020 KENSHO RESOURCES LLC - ALL RIGHTS RESERVED. THE COPY OF THIS PLAN OF ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF KENSHO RESOURCES LLC. THIS DRAWING IS THE SOLE PROPERTY OF KENSHO RESOURCES LLC AND HAS BEEN PREPARED SPECIFICALLY FOR USE BY THE OWNER OF THIS PROJECT (I.E. CLIENT) AT THIS SITE. IT IS NOT TO BE USED BY ANY OTHER PERSON OR ENTITY OR FOR ANY OTHER PURPOSE OR LOCATION WITHOUT THE WRITTEN CONSENT OF KENSHO RESOURCES LLC.

GRADING AND DRAINAGE NOTES

1. MAINTAIN EXISTING ROOF LEADER DRAINS AND DRAINAGE PATHS AS APPROPRIATE.
2. ALL CLEANOUTS AND/OR STORM DRAIN ACCESS POINTS IN PAVEMENT AREAS SHALL BE TRAFFIC RATED, INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND CODE REQUIREMENTS.
3. ALL FINAL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL AND STANDARD CONSTRUCTION PRACTICE. SURFACE DRAINAGE SHALL BE PERFORMED TO DRAIN WATER AWAY FROM STRUCTURES TO COMPLY WITH LOCAL CODE.
4. THE CONTRACTOR SHALL PERFORM CONTROLLED COMPACTION MEASURES DURING BACKFILL OPERATIONS IN LIFTS OF APPROXIMATELY 12" OR AS SOIL MATERIAL CONDITIONS PERMIT IN ORDER TO ACHIEVE 98% COMPACTION IN LANDSCAPE AREAS THROUGHOUT THE SITE. SOILS UNDER PAVED AREAS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
5. SURFACE SOILS IN LANDSCAPE AREAS SHALL BE SCARIFIED OR TILLED PRIOR TO FINAL STABILIZATION.
6. PROPOSED IMPERVIOUS COVERAGE CALCULATION INCLUDES UP TO 175 SF OF IMPERVIOUS COVERAGE FOR THE ELECTRIC TRANSFORMER AREA OF THE PLAN (IF REQUIRED).

STORMWATER MGT. STATEMENT

THE PROJECT IS A MINOR STORM WATER PROJECT AS THE PROJECT DOES NOT PROPOSE NEW IMPERVIOUS COVERAGE GREATER THAN THE EXISTING IMPERVIOUS COVERAGE (4400 SF OF NEW IMPERVIOUS) AND THIS DOES NOT EXCEED THE THRESHOLD FOR A MAJOR STORM WATER PROJECT AS THE NEW IMPERVIOUS 23 SF LESS THAN PROPOSED (45,000 SF) AND PROPOSED ONLY 0.29 AC (OR 12,800 SF) OF DISTURBANCE, WHICH IS LESS THAN 0.5 ACRE OF DISTURBANCE.

AS A BONUS STORM WATER ENHANCEMENT TO THE EXISTING SITE, PERVIOUS PAVEMENT IS PROPOSED FOR 23 OF THE 43 TOTAL PARKING SPACES (104.446 SF). REFER TO PERVIOUS PAVEMENT DETAILS AND CALCULATIONS ON SHEET 18.

EXISTING IMPERVIOUS COVERAGE: 42,491 SF.
PROPOSED IMPERVIOUS COVERAGE: 42,468 SF.

MINOR PROJECT

REDUCTION IN IMPERVIOUS COVERAGE [-23 SF] (4400 SF < 45,000 SF)
TOTAL DISTURBANCE = 12,800 SF OR 0.29 AC (< 0.5 AC)

IMPERVIOUS COVERAGE CALCULATION

EXISTING IMPERVIOUS COVERAGE:

BUILDING: 15,882 SF
DRIVEWAYS & PARKING AREAS: 23,300 SF
SEWERALTS, CONCRETE PADS ETC: 1,309 SF
TOTAL: 42,491 SF

PROPOSED IMPERVIOUS COVERAGE:

BUILDING: 15,882 SF
DRIVEWAYS & PARKING AREAS: 23,300 SF
SEWERALTS, CONCRETE PADS ETC: 1,309 SF
TOTAL: 42,468 SF

REDUCTION IN IMPERVIOUS COVERAGE: -23 SF

REVISIONS		
No.	DESCRIPTION	BY DATE

KENSHO RESOURCES LLC

360 NASSAU STREET, SECOND FLOOR
PRINCETON, NEW JERSEY 08540
PH: (609) 924-1091
FAX: (609) 924-1092

JMK@KENSHORESOURCES.COM

JAMES J. CHEN, P.E., P.F.
PROFESSIONAL ENGINEER & PLANNER
N.J. P.E. NO. 24624783 N.J. P.F. 55882

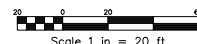
PROJECT:

MINOR SITE PLAN

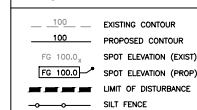
300 WITHERSPOON STREET
BLOCK 6902 LOT 4
PRINCETON
MERCER COUNTY, NEW JERSEY

SHEET TITLE: GRADING & SESC PLAN

DESIGNED BY	JC	SHEET NO.
CHECKED BY	JC	5
SCALE	AS NOTED	
FILENAME	SITE.MXD	
JOB NO.	19012	
DATE	5/18/2020	



LEGEND



PLANT SCHEDULE

Code	Botanical Name	Common Name	Qty	Planted Size	Comments
Perennials					
LM	Liriodie muscat 'Big Blue'	Lily Turf 'Big Blue'	130	QT	Evergreen Groundcover (12" O.C.)
PV	Panicum virgatum 'Rusky Ribbon'	Switchgrass	51	1/2 gal.	Perennial Grass
Shrubs					
JSA	Juniperus sabina 'Arcadia'	Arcadia Juniper	22	#1 Cont.	Evergreen
VBA*	Viburnum x rhytidophyloides 'Star' 'Hedgehog'	Atargary Viburnum	9	#5 Cont. (24"x32")	Shrub (Evergreen)
IGC*	Illex glabra 'Compact'	Compact Inkberry Holly	27	18"-24"	Evergreen
CS*	Cornus sericea	Red Osier Dogwood	22	18"-24"	Deciduous Shrub, Red Stems
Trees					
TO	Thuja occidentalis	American Arborvitae	28	4-6'	Evergreen Columnar
JV*	Juniperus virginiana	Eastern Red Cedar	5	4-6'	Evergreen
CL	Cupressocypripis leylandii	Leyland Cypress	33	4-6'	Evergreen Columnar
PV	Prunus x yedoensis	Yoshino Cherry	4	2'-2.5'	Ornamental, White Flowers

Note:
(*) Denotes native species.

LANDSCAPING PLAN NOTES:

- REFER TO DETAIL SHEET FOR LANDSCAPING CONSTRUCTION DETAILS, NOTES AND REQUIREMENTS.
- ALL PLANT MATERIALS, PLANTING PRACTICES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS FILL. TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE STOCKPILED THEN REDEPOSITED AND REFINISHED TO A MINIMUM 6" DEPTH OF 10" DEPTH TO ALL AREAS OF THE DEVELOPMENT AND STABILIZED BY SEEDING AND/OR PLANTING. ADDITIONAL TOPSOIL SHALL BE PROVIDED AS DIRECTED BY THE TOWNSHIP ENGINEER. REFER TO THE SOIL PROSPECTION PLAN FOR ADDITIONAL DETAILS AND SPECIFICATIONS. TOPSOILING, PLANTING AND SEEDING SHALL CONFORM WITH SOIL CONSERVATION DISTRICT STANDARDS.
- REMOVAL OF DEBRIS, ALL STAMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS AND EXCESS OR SCRAP BUILDING MATERIALS OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- ALL AREAS OF THE GROUND PREPARED COVERED BY BUILDING, PARKING LOTS, DRIVEWAYS, OTHER HARD SURFACES, OR SHRUB AND TREE LANDSCAPE AREAS AS SPECIFIED ON THE LANDSCAPE PLAN SHALL BE FULLY STABILIZED BY THE PLANTING OF GRASS OR OTHER GROUNDCOVER. LAWN PROPOSED FOR AREA WITHIN LOT 4 AND OUTSIDE PLANTING BEDS (TYPICAL).
- DECIDUOUS TREES SHALL HAVE A CANOPY OF 2.5' CAL. AT THE TIME OF INSTALLATION UNLESS OTHERWISE NOTED ON THE PLAN. OTHER SHRUBS AND EVERGREEN TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE SIZE REQUIREMENTS INDICATED ON THE PLANTING SCHEDULE. ONLY NURSERY GROWN PLANT MATERIAL IS ACCEPTABLE. DEAD OR DYING TREES OR SHRUBS SHALL BE REPLACED DURING THE FOLLOWING PLANTING SEASON AND MAINTAINED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF (1) YEAR.
- APPROXIMATE EXISTING MAX. PERIMETER TREE CANOPY HEIGHT 60-80 FT HEIGHT (DECIDUOUS).

TREE REMOVAL:

- THE PROPERTY OWNER OR THEIR REPRESENTATIVE IS RESPONSIBLE FOR OBTAINING A MUNICIPAL TREE REMOVAL PERMIT AS REQUIRED PRIOR TO ANY CONSTRUCTION.
- THE PROPERTY OWNER SHALL PROVIDE ANY REQUIRED REPLACEMENT TREES IN ACCORDANCE WITH TOWN REQUIREMENTS. THE LOCATION OF SAID TREES IS TO BE DETERMINED IN CONFERENCE WITH THE TOWN ARBORIST. TREES SHALL BE INSTALLED PRIOR TO FINAL CO.
- COMPENSATION TREES FOR TREES REMOVED SHALL BE REPLANTED AS REQUIRED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SPECIFICATIONS.
- TREE PROTECTION FENCING SHALL BE UTILIZED FOR ALL EXISTING TREES TO REMAIN ON THE PROPERTY PER PLAN. (SEE DETAILS) TREE PROTECTION FENCING SHALL CONSIST OF 4' HIGH WOODEN FENCE WITH DRIVEN POSTS @ 6' O.C.

TREE REMOVAL SUMMARY

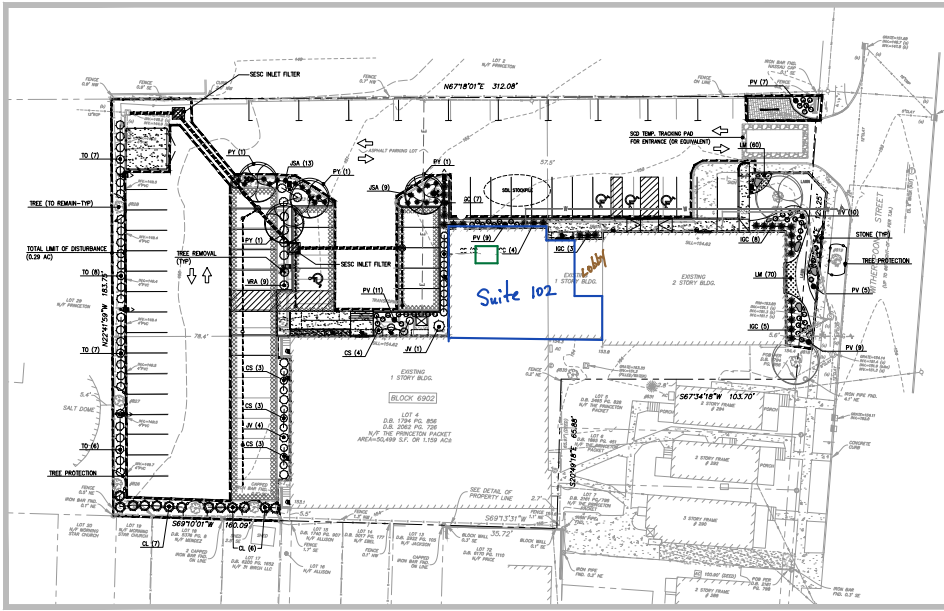
TREE INVENTORY TABLE			
NO.	COMMON NAME	SPECIES	REMOVAL/REMAIN
818	28' LINDEN PLANE	PLATANUS X ACHEROLIA	REMAIN
819	18' BLACK WALNUT	JUGLANS NIGRA	REMAIN
820	44' BLACK WALNUT	JUGLANS NIGRA	REMAIN
821	18' NORWAY SPRUCE	PICEA ABIES	REMAIN
822	20' BLACK OAK	JUGLANS NIGRA	REMAIN
823	14' BLACK OAK	JUGLANS NIGRA	REMAIN
824	20' BLACK OAK	JUGLANS NIGRA	REMAIN
825	24' RED MAPLE	ACER RUBRUM	REMAIN
826	20' YALP	LYNCHBURGH	REMAIN
827	14' BLACK OAK	JUGLANS NIGRA	REMAIN
828	18' BLACK OAK	JUGLANS NIGRA	REMAIN
829	12' BLACK OAK	JUGLANS NIGRA	REMAIN
TOTAL			4

- (4) TOTAL REPLACEMENT TREES PROVIDED NOTING THAT THE EXISTING TREES TO BE REMOVED ARE SITE PLANT TREES (THREE OF WHICH ARE NO LONGER VALUABLE DUE TO COMPROMISED CONDITION).
- * NOTE: MAXIMUM RADIUS OF TREE PROTECTION FENCE AS PRACTICABLE BASED ON SITE CONDITIONS AND CONSTRAINTS.

LEGEND

- EXISTING SHADE TREE
- EXISTING EVERGREEN TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE/SHRUB
- PROPOSED SHRUB/PERENNIAL

- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION (EXIST)
- SPOT ELEVATION (PROP)
- LIMIT OF DISTURBANCE
- SILT FENCE



LANDSCAPE & TREE REMOVAL PLAN

* COPYRIGHT 2020 KENSHO RESOURCES LLC - ALL RIGHTS RESERVED.
THE COPY OR REUSE OF THIS DOCUMENT OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF KENSHO RESOURCES LLC. THIS DRAWING IS THE SOLE PROPERTY OF KENSHO RESOURCES LLC. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF KENSHO RESOURCES LLC.

REVISIONS		
NO.	DESCRIPTION	BY DATE

KENSHO RESOURCES LLC

360 NASSAU STREET, SECOND FLOOR
PRINCETON, NEW JERSEY 08540
PH: (609) 924-1091
FAX: (609) 924-1092

JMK@KENSHO-RESOURCES.COM

JAMES J. CHEN, P.E., P.F., P.P.
PROFESSIONAL ENGINEER & PLANNER
N.J. P.E. NO. 246204783 N.J. P.P. 05882

PROJECT:

MINOR SITE PLAN

300 WITHERSPOON STREET
BLOCK 6902 LOT 4
PRINCETON
MERCER COUNTY, NEW JERSEY

LANDSCAPE & TREE REMOVAL PLAN

DESIGNED BY	JC	SHEET NO.
CHECKED BY	JC	6
SCALE	AS NOTED	
FILENAME	SITE.DWG	
JOB NO.	19012	
DATE	5/18/2020	

